



Inspection Report

Domicile Buyer

Property Address:

Strip Mall
Anytown IL



Subject Property

Domicile Consulting

Dan Cullen 450.000570 Expires Nov. 2018
2545 W Diversey Avenue Suite 206
Chicago IL 60647
773-771-6466

I. Domicile Consulting Report

This report reflects the findings of a limited scope commercial property evaluation performed at the request of the client named herein. Several of the individual business occupancies were inaccessible at the time of the inspection. The focus of the inspection was on the condition of the major building systems and components; an exhaustive list of interior and exterior building component defects is not the intention of this report.

This inspection is being conducted in accordance with the State of Illinois Home Inspector Licensing Act. No pest control, lead paint, asbestos, mold, or other types of testing are being performed. **This is a visual inspection of readily accessible systems and components of the building/s.** Some items or areas may not be inspected if they are blocked by furniture or stored items. The inspector makes no guarantees regarding any of the building's systems or components. **The inspection is performed in good faith and is a 'snapshot in time'; it does NOT constitute a prediction that the buildings systems and components will perform adequately in the future.** Only non-invasive processes are used in the course of the inspection. Seasonal changes such as wind-driven rain, ice, and humidity may bring some defects to light that were not noted during your property inspection. Basements and attics that were dry at the time of the inspection can be damp or leak in later weeks or months. **If you discover any adverse conditions in the Property after your Domicile Consulting inspection, please call us immediately for a re-inspection and free consultation.** Your inspection fee will be refunded without question if you are unhappy with the inspection for any reason, provided the buyer/client signs a 'hold harmless' agreement when accepting the refunded fee. **No guarantees or warranties are provided in connection with this inspection.** Any disputes that cannot be resolved by the inspector and the client will be submitted jointly to the American Arbitration Association for a decision.

Items

A. EXTERIOR WALLS, GROUNDS, CHIMNEYS, ETC.

Comments: Not Functioning or in need of repair



Asphalt Paving at Parking Area



Premature Failure of Seal Coating



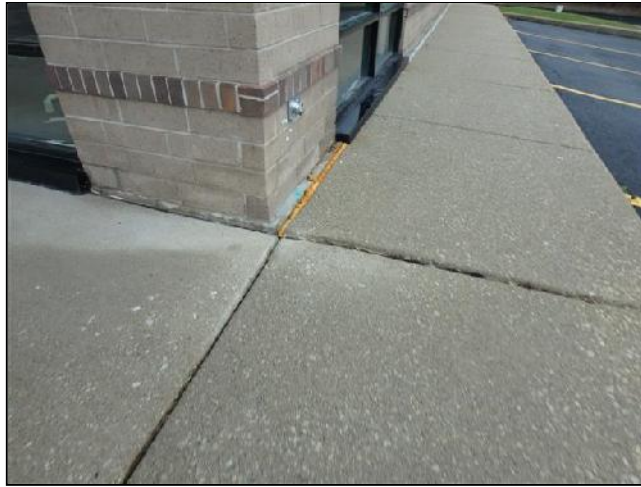
Extensive Ponding

(1) The parking lot and driveway areas have been recently patched and seal coated. However, the quality of the seal coating and the extent of the patching appear inadequate. Areas of seal coating were already failing from exposure to downspout roof runoff and extensive areas of cracked pavement have not been patched. As a result, increased frequency of maintenance and repairs for the asphalt paved parking/driveway areas can be expected.



Pavement Ponding

(2) The areas of ponding at the parking/driveway areas may result in icing and an increased risk for vehicle accidents as well as slip and fall injuries. This condition should be kept in mind by the snow removal contractor until repair of the pavement drainage is performed. Maintenance personnel should give special attention to these areas during winter weather.



Northwest Corner of Structure



Failure to Slope



Moisture Damage

(3) Evidence of moisture penetration was noted at the northwest corner of the structure. The flat ledge at the bottom of the west facing storefront windows is, at a minimum, a significant contributing factor to this moisture penetration to the interior. The repairs that appear to have been performed are inadequate and ineffective. A qualified contractor should re-slope all exterior surfaces to provide for positive drainage and should reseal all exterior areas as needed. In addition, the moisture damaged interior components should be repaired or replaced.



Cracking at EIFS Wall Cladding



EIFS Cracking at Opposite Corner



Active Leaking and Ongoing Damage



Active Leaking



Ongoing and Significant Damage



Active Moisture Penetration Inside Mansard Overhang

(4) A number of significant defects were noted with regard to the EIFS wall cladding and to the gypsum wallboard substrate behind the cladding. Active leaking through multiple areas of the EIFS cladding was noted. Since the EIFS wall cladding is intimately connected to areas of the parapet sheet-metal capping and directly adjacent to areas of the roof covering it is recommended that a qualified general contractor with experience in both roofing and EIFS specialty wall cladding evaluate the leaking, damage, and general deterioration of this material in order to provide for a repair plan and budget. It is likely that repairs of the EIFS wall cladding system will need to be coordinated and integrated into repairs of the badly deteriorated roof membrane and the improperly installed sheet-metal details.



Open Masonry Wall Weep Holes



Weep Hole Cover

(5) It is recommended that provisions be made to prevent the entry of insects, rodents, or other pests into the home via the large masonry weep openings at the base of the exterior walls. Plastic grilles are available which are manufactured especially for this application. Repair by a qualified masonry contractor is recommended. Please visit the following website for additional information.

<http://tamlyn.com/RetrofitWeepHoleCover.html>



Base of Masonry Wall

(6) Some areas at the base of the exterior masonry wall are prone to allowing bulk moisture underneath the masonry wall flashing and into the finished space of the interior. The flat projecting ledge of concrete slab foundation can allow for moisture accumulation and moisture penetration underneath the flexible masonry wall flashing. This can result in damage to the interior floor and wall finishes. It is recommended that a qualified masonry restoration contractor provide for both the prevention of bulk moisture intrusion at this location as well as for the release of trapped moisture.



Caulking Recommended



Wall Penetrations



Improper and Inadequate Sealant



Exterior Rated Sealant Material Needed

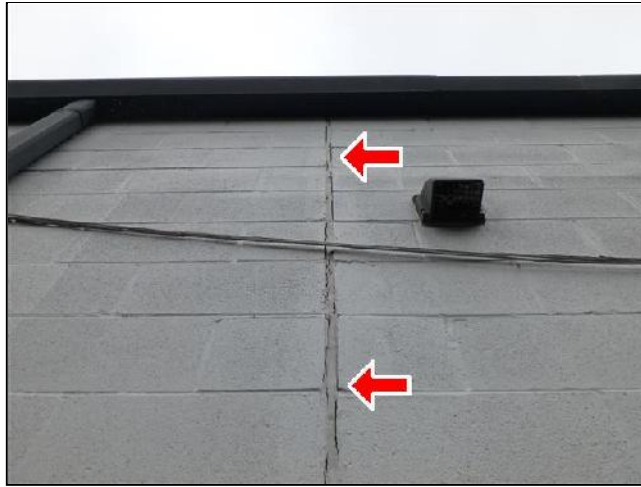
(7) All exterior wall penetrations such as; piping, conduit, vent caps, etc. should be sealed against moisture intrusion, drafts, and energy losses through the use of the appropriate caulking methods and materials.



Caulking Failure



Closer Look

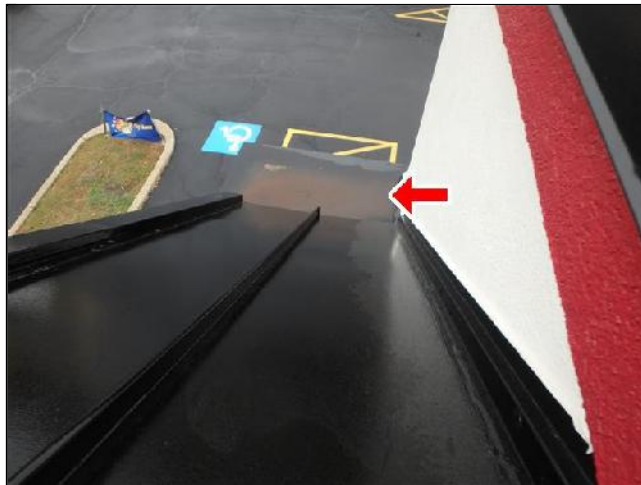


Re-caulking Recommended



Repair Needed

(8) The general condition of the exterior caulking is poor. It is recommended that most, if not all, of the exterior caulk joints be removed and replaced by a qualified specialty contractor in order to reduce the risk for drafts, energy losses, moisture penetration, pest entry, etc.



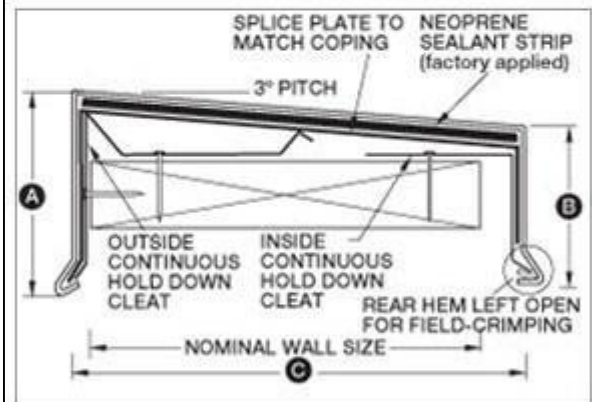
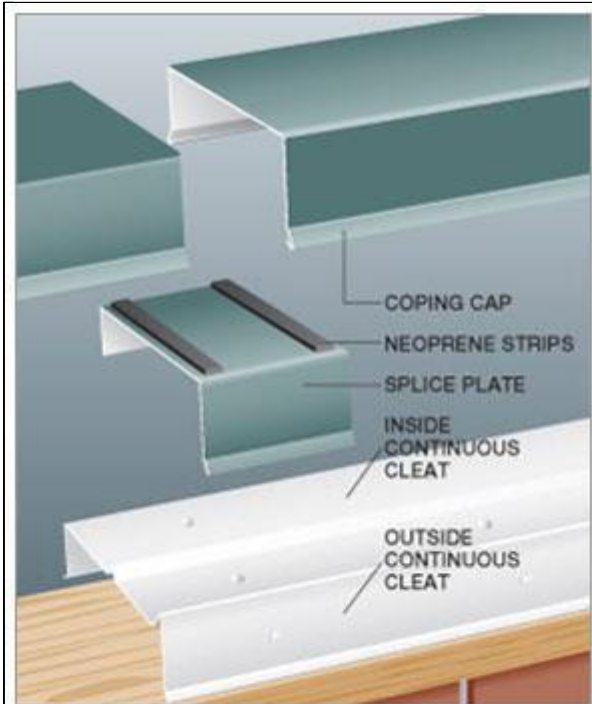
Standing Water

(9) The presence of flat horizontal projections from the exterior façade creates an increased risk for moisture accumulation, moisture saturation of the masonry, and moisture penetration through the exterior wall to the interior. The most basic concept in exterior wall moisture management is to avoid flat surfaces and to ensure

all exterior elements are properly sloped to prompt the drain moisture. Therefore, it is recommended that a qualified contractor evaluate and repair any areas on the exterior walls or roof which accumulate moisture.



Standing Water



Aluminum Parapet Capping

(10) The aluminum parapet capping at the top of the masonry parapet walls does not conform to industry standards as published by the Sheet-Metal and Air Conditioning Contractors National Association (SMACNA). The aluminum wall cap does not promptly shed moisture; does not have sleeved and gasketed overlaps; and is composed of relatively thin aluminum which will expand and contract significantly from temperature changes. These defects greatly increase the risk for moisture penetration into and through the underlying masonry walls. It is recommended that plans be made for the near-term replacement of the existing parapet wall cap with one that reflects industry standards and best practices.



Missing Safety Devices



Curb Stop

(11) The missing curb stops should be furnished and installed in order to reduce the risk for vehicles causing property damage or personal injury.

B. GARAGES & OUTBUILDINGS

Comments: Not Present

C. ROOF COVERING, ROOF FLASHINGS, ROOF DRAINAGE.

Comments: Not Functioning or in need of repair



Loose and Damaged Downspout



Risk for Icing and Slip/Fall Injuries



Leaking Gutter Causing Masonry Damage

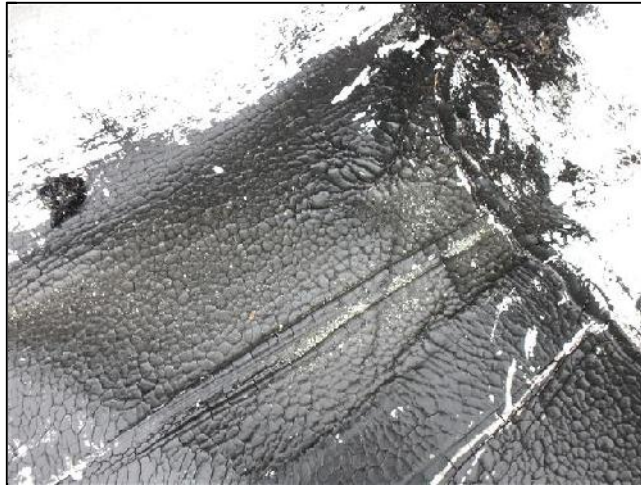


Loose Gutter Support System

(1) The overall condition of the gutters and downspouts is poor. The gutters are composed of relatively thin aluminum and are not properly secured to the structure. The downspouts are in varying states of disrepair, inadequately secured to the exterior wall, and improperly terminated. It is recommended that plans be made to replace the gutters and downspouts in conjunction with the recommended roof covering replacement.



Parapet Wall Breaches



Badly Deteriorated Roof Covering

(2) The existing roof covering is suffering from advanced aging and deterioration. Extensive patching has been performed to the roof covering. It is the inspector's opinion that further patching will present a 'whack a mole' situation wherein one leak pops up as another leak is fixed. It is strongly recommended that plans be made for the near-term removal and replacement of the existing roof covering. It may be both beneficial and code required to increase the thermal insulation on top of the roof deck prior to the application of a new roof covering. Installation of a new roof covering would also entail replacement of the existing roof penetration flashings and careful integration of the new roof covering into the parapet wall covering and parapet capping.



Extensive Ponding

(3) Ponded areas were noted on the low slope roof. Ponding increases the rate of roof wear/deterioration and increases the risk for leaking. Plans should be made to re-pitch the roof using tapered roof insulation and a new roof covering.

D. STRUCTURE & FOUNDATION

Comments: Not Functioning or in need of repair



Masonry Wall Cracking



Cracking Through Multiple Brick Units

(1) Vertical cracking through multiple individual brick units was noted at the northwest exterior wall corner. This appears to be the result of unanticipated structural movement. This may indicate concealed cracking of the foundation at the base of this wall corner or excessive loading imposed from the roof above. A qualified structural engineer should determine the cause of the cracking and suggest a course of corrective action.



Typical Shrinkage/Settling Crack

(2) Very little of the slab on grade foundation walls were visible at the time of the inspection due to the finished lower level walls. However, multiple apparently minor cracks were noted on the exterior perimeter slab on grade edge. The should be monitored for signs of ongoing movement in which case repair by a qualified foundation repair contractor would be indicated.



False Parapet Support System



Questionable Holding Power

(3) The false gable parapet wall at the Northeast corner of the structure has been recently provided with a lateral support system. It is strongly recommended that the seller provide all documentation regarding the

design and installation of this structural support system including any warranties provided by the contractor responsible for its installation. The size and type of the fasteners used are indicative of an ad hoc or makeshift configuration and proper documentation showing any plans, permits, drawings, etc. should therefore be provided to the buyer

E. ELECTRICAL SYSTEM, GROUNDING, CONNECTED DEVICES AND FIXTURES

Comments: Not Functioning or in need of repair

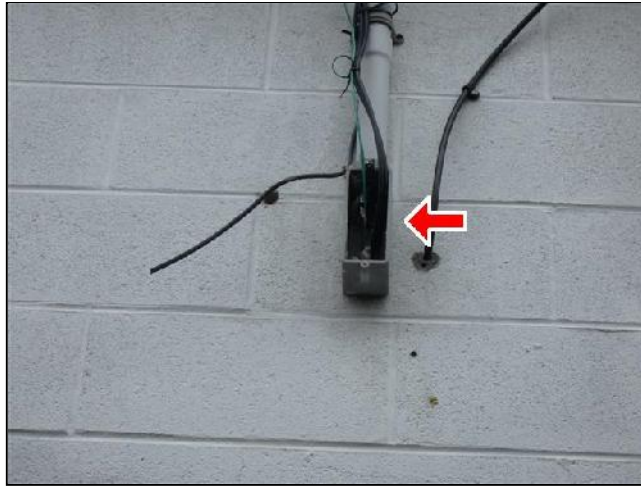


Parking Lot Lighting



Additional Lighting Recommended

(1) Some areas of the parking lot are not adequately illuminated for safety and security. It is recommended that the exterior lighting around the building and parking/driveway areas be thoroughly evaluated by a qualified electrician so that the existing light fixtures can be maintained and/or upgraded for reliability and energy efficiency. It is further recommended that areas of inadequate lighting be provided with high-efficiency lighting controlled by automatic timers or photo sensors.



Missing Cover



Missing Cover

(2) The missing covers at the electrical conduit fittings along the back of the exterior wall should be furnished and installed both for electrical safety and to prevent drafts/energy losses.



Advanced Corrosion

(3) The large electrical panel at the rear exterior wall is exhibiting evidence of advanced corrosion. It is strongly recommended that a qualified electrical contractor further evaluate this component in order to determine if repair or replacement is indicated.



Sloppy Low Voltage Wiring

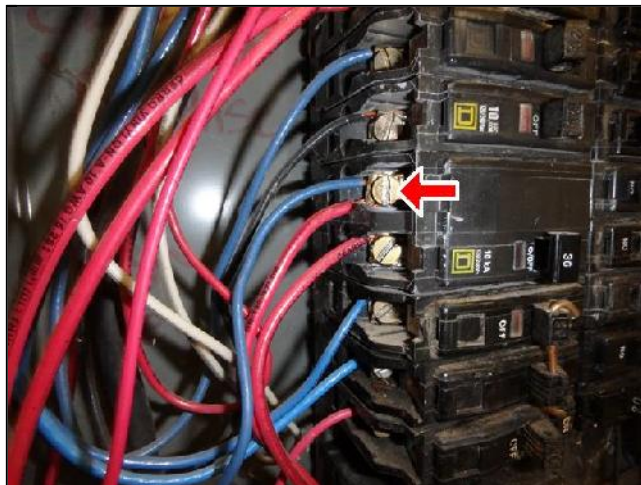


Risk for Snagging, Damage, Etc.

(4) The evaluation of the low-voltage equipment in the home: alarm, communication, audiovisual, etc., is beyond the scope of the home inspection and should be performed by a qualified low-voltage electrical contractor. Nevertheless, as a courtesy to the buyer, it is recommended that the low voltage wiring both inside and outside the individual business occupancies be evaluated, organized, secured, and concealed as needed.



Makeshift Breaker Tie

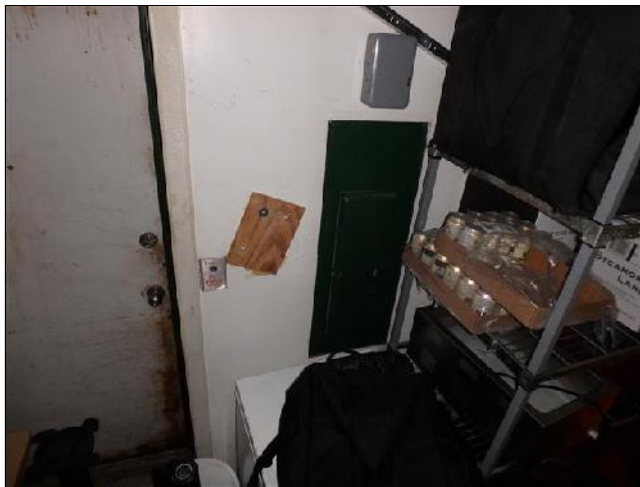


Dangerous Electrical Condition



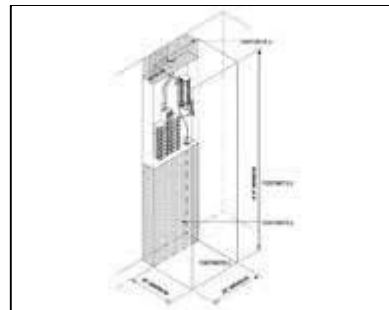
Dangerous Electrical Condition

(5) A significant number of dangerous electrical conditions were noted at the electrical panels within the former Winfield Waffle occupancy. It is strongly recommended that a qualified electrical contractor evaluate and repair the dangerous electrical conditions such as the improper double pole breaker handle tie, the double tapped and over-fused conductors inside the electrical panel, and the improperly secured grounding conductor at the neutral busbar. Also, the lighting inside this commercial occupancy is currently controlled, in large part, by the individual breakers at the electrical panel. A qualified electrician should install wall switches in order to provide for safe and convenient lighting.

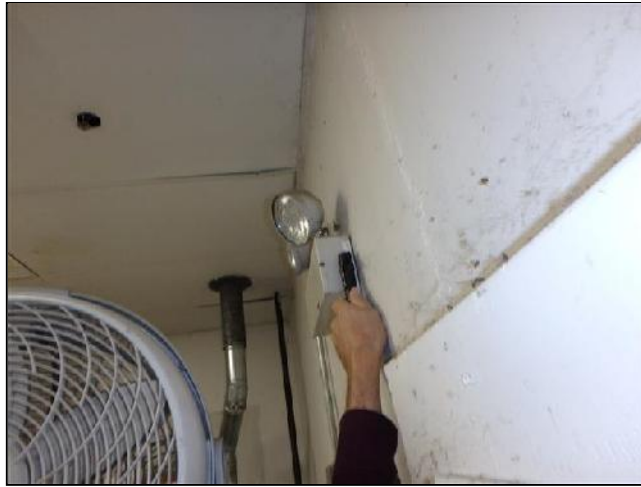


Blocked Electrical Panel

(6) The electrical service panel at the Jake's Pizza occupancy has not been provided with the required working clearances. This creates an increased risk for injury to individuals performing repairs or maintenance to the electrical panel and precluded the inspector from examining the interior components of the panel. It is strongly recommended that proper access be provided and that the electrical panel be further evaluated prior to closing.



Required Working Clearance at Panel



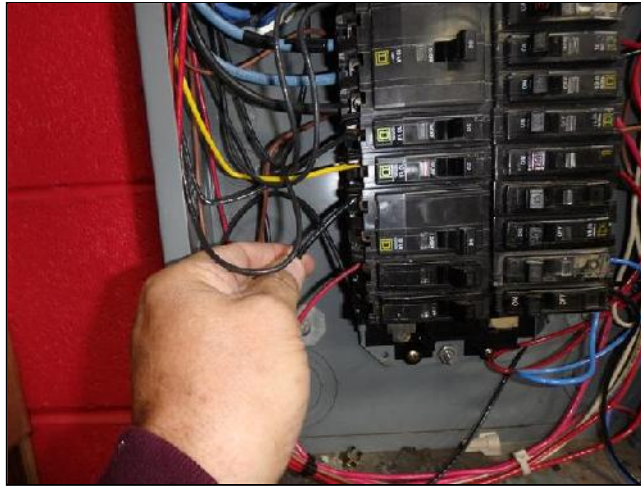
Defective Emergency Lighting

(7) A spot check of the battery operated emergency lighting system revealed one or more non-functioning units. It is strongly recommended that these critical life safety devices be regularly evaluated and repaired as needed by a qualified electrical contractor.



Piggyback Extension Cords

(8) There is an inadequate number of electrical receptacles in areas of the interior spaces. Additional receptacles should be added by a qualified electrician in order to reduce the risk for over-loading of circuits, the risk associated with the excessive reliance upon extension cords, and for convenience in the use of electrical appliances.



Undersized Conductors

(9) Significant electrical safety defects were also noted in the liquor store occupancy. These include but are not necessarily limited to over-fused conductors and a damaged nonconductive bushing at the large diameter feeder conduit. These defects constitute an increased risk for shock, fire, and electrical service interruption. A qualified electrical contractor should evaluate and repair the wiring as needed prior to closing.



Exposed and Dangerous Wiring

(10) Areas of exposed and dangerous electrical wiring were noted inside the mansard overhang above the liquor store entryway. It is **strongly recommended** that a qualified electrical contractor evaluate and repair the wiring inside this entire area prior to closing.

F. PLUMBING SUPPLY, DRAINS, FIXTURES AND VENTS

Comments: Not Functioning or in need of repair



Plastic Drain Component



Unknown Function

(1) The inspector was unable to determine the function of the projecting vertical plastic piping at the grassy island at the southwest corner of the building. The current building management personnel should describe the function of this component to the buyer.



Drain Access Cover



Grease Interceptor Cleaning Recommended



Caked On Grease at Floor Drain

(2) Due to the age of the structure a fiber-optic evaluation of the subsurface sewage drains should be performed to determine their current condition. Subsurface drain repairs can be quite expensive and due diligence requires a fiber-optic evaluation. In addition, the current and former food preparation occupancies should have their grease interceptors and subsurface drain piping evaluated and cleaned as needed.



Dangerous Condition

(3) The water heater at the Jake's pizza occupancy is in an extremely dangerous condition and could expose occupants to carbon monoxide. The water heater should be repaired or replaced as soon as practical.



Improper Water Heater Details

(4) The small electric water heater above the ceiling of the bank occupancy has an undersized drip pan which may not function adequately in the events of a water heater leak and also has an improperly terminated TPR extension pipe which creates an increased risk for water heater failure. It is recommended that the water heater be evaluated and repaired or replaced as needed by a qualified plumbing contractor.



Taped Over Floor Drain

(5) **FYI:** The floor drain/s should be regularly monitored and re-filled with water as needed to prevent the migration of sewer gas into the home. The application of several drops of mineral oil can retard the evaporation of the water 'plug' in the floor drain trap.

G. HEATING, AIR CONDITIONING, VENTILATION, AND GAS APPLIANCE SYSTEMS

Comments: Not Functioning or in need of repair



Plugged Piping



Open Piping



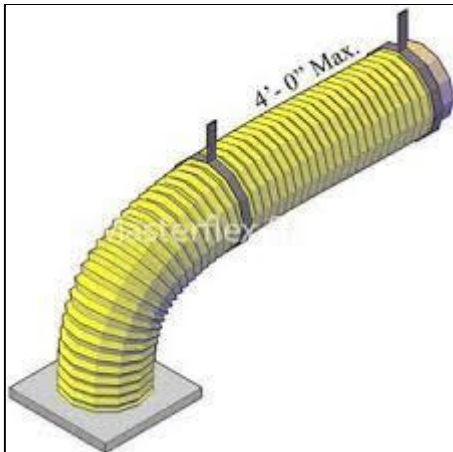
Abandoned Piping Should Be Removed

(1) Any abandoned or unnecessary mechanical components should be removed from the premises or properly terminated in order to reduce the risk for accidental energizing, leaking, or other failure.



Protection Recommended

(2) The installation of protective bollards is recommended in front of the gas meter assembly in order to reduce the risk for damage, leaking, etc.



Proper Flex Duct Installation



Seriously Defective Flex Duct Installation



Open Duct



Partially Disconnected Duct Connection



Disconnected Duct



Sagging Duct

(3) Flexible ductwork should be carefully stretched and properly configured at connections to the rigid metal duct in order to allow for proper airflow and equipment performance. It is recommended that the flexible ducts in the attic be repaired by a qualified HVAC contractor so that they conform to the applicable standards.



Packaged Rooftop HVAC Units

(4) The inspector found 14 individual packaged HVAC units on the rooftop. Six of the units are approximately 27 years old and therefore well past the typical useful life for such equipment; plans should be made for their near-term replacement. Four of the units are approximately 18 years old and are nearing the end of their typical service lives; major repair expenditures should not be made to these aged units. The other four packaged rooftop units date from 2007 (2), 2014, and 2015.

H. INSULATION, VENTILATION, ATTICS, ETC.

Comments: Not Functioning or in need of repair



Insulation Above Suspended Ceiling

(1) FYI: The inspector was unable to verify the presence or absence of thermal insulation in the walls or ceilings with the exception of the center bank occupancy which has some fiberglass insulation placed on top of the suspended ceiling panels. It is assumed, but cannot be verified, that thermal insulation board is present on top of the metal pan roof deck.



Woefully Inadequate Airflow



Poor Airflow Characteristics and Prohibited Material



Missing Vent Tubing

(2) Prohibited vent tubing material and improperly configured vent tubing were noted in multiple locations. These defects create the risk for inadequate ventilation of moisture and odors. It is strongly recommended that the bathroom exhaust piping in each of the business occupancies be evaluated and repaired or replaced as needed by a qualified mechanical contractor.

I. FIREPLACES, WOODSTOVES, ETC.

Comments: Not Present

J. INTERIORS AND FINISHES

Comments: Not Functioning or in need of repair



Missing Insulation and Inadequate Access



Drain Pipe Insulation and Adequate Clearances



Missing Pipe Insulation



Defective Wiring



General Deterioration

(1) Not all of the bathrooms inside the individual business occupancies are provided with ADA compliant bathrooms. It is recommended that a qualified contractor perform the necessary alterations for the remaining bathrooms to achieve full ADA compliance.



Missing Registers



Deteriorated Flooring



Disconnected Toilet Water Supply



Significant Neglect

(2) The interior wall, floor, and ceiling finishes are aged and deteriorated. The interior trim and millwork is aged, defective, and damaged in multiple locations. Some of the kitchen and bathroom cabinetry, fixtures, and appliances are also aged, deteriorated, and neglected. Extensive remodeling of the home's interior is required in order to elevate it modern standards of safety, convenience, and appearance. Further evaluation by a qualified remodeling contractor is recommended in order to assist the buyer's in developing a plan and budget for these repairs/upgrades.

K. WINDOWS, DOORS, SKYLIGHTS

Comments: Not Functioning or in need of repair



Significant Gap

(1) The installation of high quality rubber bulb weatherstripping is recommended at the top and sides of the entry door/s. The installation of a weatherstripped threshold is recommended at the bottom of the unit entry door. These modifications will conserve energy, reduce cold drafts, and reduce noise levels inside the living space.



Lintel Corrosion from Moisture Exposure



Drip Cap Flashing

(2) It is recommended that any exterior doors which are not currently provided with drip cap flashing have such flashing installed in order to reduce the risk for wind driven rain blowing through the gap along the top of the entry door and to also reduce the risk for ongoing and accelerating lintel corrosion.



Badly Corroded Exterior Door



Building Mechanical Room Door

(3) Several of the rear exterior doors are badly corroded and need to be replaced.



Missing Panic Hardware

(4) Few, if any, of the rear exterior doors are provided with panic hardware. Rear exterior doors in business occupancies are typically required to have panic hardware at the secondary emergency egress doors in order to reduce the risk for occupant entrapment in the vent of a fire or other emergency. It is strongly recommended that all required emergency egress safety devices be furnished and installed by a qualified contractor as soon as practical.

L. INSTALLED APPLIANCES

Comments: Not Functioning or in need of repair



Lint Build up

Heavy lint build-up was noted inside the vent passages of the clothes dryer. Regular cleaning is recommended in order to reduce drying times, increase equipment service life, and reduce the risk of a dryer fire.

M. OTHER

Comments: Not Functioning or in need of repair



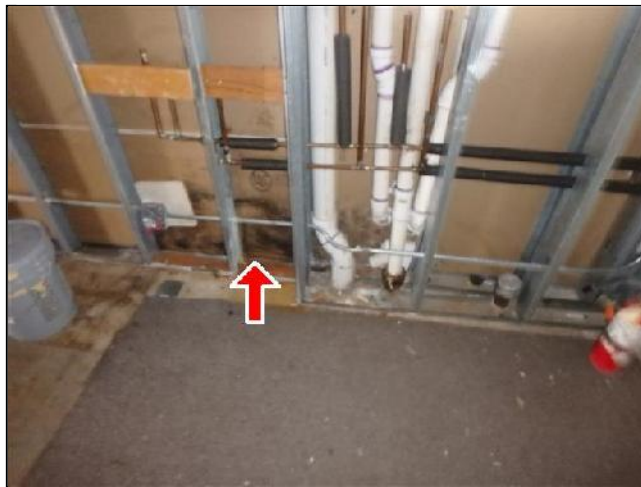
Emergency Access Key Location

(1) The operation of the key safe outside the building mechanical room should be demonstrated to the buyer prior to closing and the key for the key safe should be provided.



Mouse Poop

(2) Evidence of a rodent problem was noted. Further evaluation by a qualified pest control contractor is recommended. Any openings in the exterior walls and door frames that are 1/4" or more in size could allow mice into the home. A comprehensive evaluation and sealing of the building exterior is recommended in addition to the elimination of any existing mice from inside the structure.

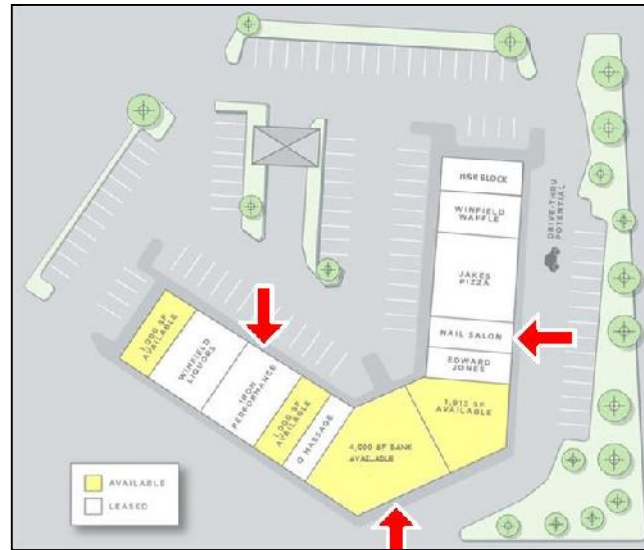


Moldy Drywall

(3) Mold-like substances were noted on interior surface/s. Mold growth results from moisture on organic strata and is first and foremost a moisture problem. The source of the moisture that is the proximal cause of the mold-growth should be found and eliminated before final remediation is performed. Initial remediative steps may be advisable in order to reduce the release of mold spores, fungal fragments, and mycotoxins during the moisture investigation and repair process. Small areas of mold (10 square feet or less) can be remediated by the homeowner successfully. An EPA approved mildewcide with residual mold inhibiting properties (Concrobium Brand) can be found at major home improvement stores. Relatively non-porous surfaces such as tile, laminate, concrete, etc. should be surface cleaned with this type of product and kept dry. Semi-porous surfaces such as wood framing and sheathing can also be cleaned in this manner if fungal growth hasn't degraded the material significantly. Porous surfaces such as paper-faced gypsum drywall, cellulose insulation, etc. should be removed and replaced.

Air sampling and bulk sampling for mold is typically not required for successful remediation. For routine assessments in which the goal is to identify possible mold contamination problems before remediation, it is usually unnecessary to collect and analyze air or settled dust samples for mold analysis because decisions about appropriate intervention strategies can typically be made on the basis of a visual inspection. Also, sampling and analysis costs can be relatively high and the interpretation of results is not straightforward. Air and dust monitoring may, however, be necessary in certain situations, including 1) if an individual has been

diagnosed with a disease associated with fungal exposure through inhalation, 2) if it is suspected that the ventilation systems are contaminated, or 3) if the presence of mold is suspected but cannot be identified by a visual inspection or bulk sampling.



Units Not Entered

(4) FYI: Several of the individual business occupancy interiors within the stripmall were not entered during the inspection.

All of the recommendations for repairs or alterations that are contained in this report should be performed by licensed and competent contractors with expertise in the appropriate trade or specialty. It is recommended that the repairs/alterations be completed prior to closing. The contractor/s who perform the recommended repairs at the seller's direction should provide the buyer/client with all appropriate documentation regarding the materials and methods used in the work. A list of contractors who have been rated and recommended by consumers can be found at www.angieslist.com

INVOICE

Domicile Consulting
2545 W Diversey Avenue Suite 206
Chicago IL 60647
773-771-6466
Inspected By: Dan Cullen

Inspection Date: 10/11/2017
Report ID:

Customer Info:	Inspection Property:
Domicile Buyer	Strip Mall Anytown IL
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
			Tax \$0.00
			Total Price \$0.00

Payment Method: Credit Card
Payment Status: Invoice Sent
Note: