



Inspection Report

Sam Stone

Property Address:
1632 S Poinciana #603
Chicago IL



1632 South Poinciana

Domicile Consulting

Dan Cullen 450.000570 Expires Nov. 2018
2545 W Diversey Ave Suite 206
Chicago IL 60647
312-488-1461

I. Domicile Consulting Report

This inspection is being conducted in accordance with the State of Illinois Home Inspector Licensing Act. No pest control, lead paint, asbestos, mold, or other types of testing are being performed. **This is a visual inspection of readily accessible systems and components of the building/s.** Some items or areas may not be inspected if they are blocked by furniture or stored items. The inspector makes no guarantees regarding any of the building's systems or components. **The inspection is performed in good faith and is a 'snapshot in time'; it is does NOT constitute a prediction that the buildings systems and components will perform adequately in the future.** Only non-invasive processes are used in the course of the inspection. Seasonal changes such as wind-driven rain, ice, and humidity may bring some defects to light that were not noted during your property inspection. Basements and attics that were dry at the time of the inspection can be damp or leak in later weeks or months. **If you discover any adverse conditions in the Property after your Domicile Consulting inspection, please call us immediately for a re-inspection and free consultation.** Your inspection fee will be refunded without question if you are unhappy with the inspection for any reason, provided the buyer/client signs a 'hold harmless' agreement when accepting the refunded fee. **No guarantees or warranties are provided in connection with this inspection.** Any disputes that cannot be resolved by the inspector and the client will be submitted jointly to the American Arbitration Association for a decision.

Styles & Materials

ROOF COVERINGS:

Not Visible/Accessible

ROOF VIEWED:

Unable to View Roof Covering

GAS SHUT-OFF LOCATION:

Not Located...Consult Building Management or the Gas Utility for Location

POTABLE WATER SOURCE:

Public

WATER SERVICE PIPING MATERIAL:

Unknown/Not visible

Main Water Shut-Off Location : The Main Building Water Shutoff Was Not Located at the Time of the Inspection

WATER SUPPLY PIPING MATERIAL:

Copper

Not Fully Visible

Water Pressure and Flow : Appeared Adequate except As Noted in the Plumbing Section of This Report

COOLING EQUIPMENT STYLE:

Split System (Outside Condenser w/ Inside Evaporator)

Approximate Cooling Capacity in Tons : Unable to Determine

COOLING EQUIPMENT MANUFACTURER:

Average Service Life of A/C Unit is 12-15

Years

UNKNOWN

Approx. Age of Condensing Unit : The Condensing Unit Is Presumed to Be Located on the Roof Which Was Inaccessible at the Time of the Inspection.

PLUMBING WASTE PIPING MATERIAL:

Cast iron

Copper

Not Visible

WATER HEATER SIZE AND POWER SOURCE:

50 Gallons

Gas-Fired Water Heater

BTU or WATT Input Rating : 38,000 BTU

WATER HEATER MANUFACTURER:

Rheem

Approximate Age in Years :

Approximately 21 Years Old

ELECTRICAL SERVICE:

Copper Service Conductors

240 volts

Location of Main Service Disconnect : Within the Mechanical Closet of the Subject Unit

SERVICE PANEL AMPACITY:

100 AMP

Overcurrent Protection Devices : Circuit Breakers

BRANCH CIRCUIT CONDUCTORS:

Copper

Not fully visible

of Circuits Used/# of Circuits Available for Use : 10 Used/6 Available

WIRING METHODS:

Electrical Metallic Tubing EMT (Conduit)

Not Fully Visible

Armored Cable (BX)

HEAT TYPE:

Forced Air Ducted System

Air Filter Size : 14 x 20 x 1

HEATING ENERGY SOURCE:

Natural Gas

BTU or KW Input per Hour : 80,000 BTU

HEATING EQUIPMENT MANUFACTURER:

Average Service Life of a Gas-Fired Forced-Air Furnace is 15-20 years

YORK

Approximate age of unit : Approximately 21 Years Old

VENTILATION:

Ducted Exhaust Fans in Bath/s
Recirculating Kitchen Exhaust

VEGETATION/GRADING/DRAINAGE:

No Obvious Defects Noted

FLOOR STRUCTURE:

Heavy Timbers

CRAWLSPACE ACCESS:

No Crawlspace

COUNTERTOPS/CABINETS:

Natural Stone Countertops
Wood Kitchen Cabinets

ATTIC INSULATION AND VAPOR**RETARDERS:**

No Attic Access

FIREPLACES:

Ventless Gas-Fired Fireplace

MAIN FLOOR BEAM AND POSTS:

Wood Beams and Posts

Items

A. EXTERIOR WALLS, GROUNDS, CHIMNEYS, ETC.

Comments: Not Functioning or in need of repair



A. Item 1(Picture) Corroded Structural Steel and Resulting Masonry Damage



A. Item 2(Picture) Network of Patch Cracks in Exterior Stone

(1) Rusted, deteriorated, and deflected steel lintels were noted above the windows. The defective lintels have caused damage to the surrounding brick. The lintels should be evaluated by a licensed and competent masonry restoration contractor.

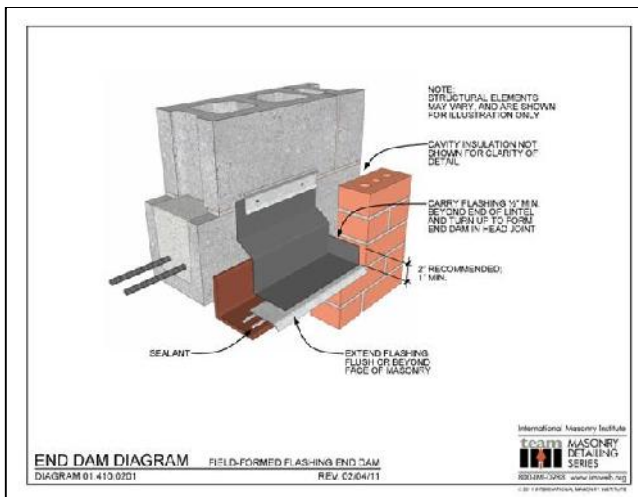
The exterior masonry walls are in overall good condition. Areas of deterioration and damage were noted however. The home owner's association should budget for repairs and maintenance and the exterior walls should be evaluated by a qualified masonry restoration contractor.



A. Item 3(Picture) No Masonry Wall Flashing Visible



A. Item 4(Picture) Evidence of Possible Bulk Moisture Penetration Due to Missing Masonry Wall Flashing



A. Item 5(Picture) Flashing over Lintel Diagram

(2) The masonry wall flashings are either missing or improperly installed. The flashings should be used in conjunction with stainless steel drip edge, should be 'end dammed' and should be present at the following locations: the top of the foundation wall; above the masonry pockets where the floor joists are set into the masonry wall; above and below every window, door, and all lintels/beams. Missing or improperly installed wall flashing can allow moisture to enter the home and cause rot, mold growth, and structural damage. The exterior

masonry walls of this structure should be evaluated and repaired by a licensed and competent masonry contractor.

B. GARAGES & OUTBUILDINGS

Comments: Not Inspected

C. ROOF COVERING, ROOF FLASHINGS, ROOF DRAINAGE.

Comments: Not Inspected

Due to the inaccessibility, height, or pitch of the roof structure, the inspector was unable to walk upon it. A further inspection by a licensed and competent roofing contractor is recommended in order to more definitely determine the condition of the roof covering and it's attendant components.

D. STRUCTURE & FOUNDATION

Comments: Not Inspected

A full evaluation of the foundation and structure of this multi-unit building is beyond the scope of this home inspection.

E. ELECTRICAL SYSTEM, GROUNDING, CONNECTED DEVICES AND FIXTURES

Comments: Not Functioning or in need of repair

(1) The lightbar in the guest bathroom is not properly secured and is at risk for excess movement, displacement, failure, arcing/sparking, etc. It should be repaired by a qualified electrician.



E. Item 1(Picture) Loose Lightbar

(2) The junction box and distribution wiring underneath the kitchen sink should be secured against excess movement in order to reduce the risk for shock, fire, etc.



E. Item 2(Picture) Loose Electrical Equipment

(3) The presence of an electrical receptacle with a hot/neutral reversed condition indicates that at least some of the electrical work was performed by an unqualified person. All electrical defects present significant safety concerns and therefore it is most strongly recommended that a qualified electrical contractor review the electrical distribution equipment within the condominium unit and make all necessary repairs as soon as practical.



E. Item 3(Picture) Reverse Wired Receptacle

F. PLUMBING SUPPLY, DRAINS, FIXTURES AND VENTS

Comments: Not Functioning or in need of repair

(1) The toilet in the master bathroom is not adequately secured to the floor. This can result in deformation of the wax ring seal, leaking, and other damage. The toilet should be evaluated by a licensed and competent plumber in order to determine if removal and reinstallation as necessary.



F. Item 1(Picture) Loose Toilet

(2) The failure to properly secure the showerhead piping in the master bathroom creates an increased risk for excess movement, damage, and leaking. Repair by a qualified contractor is recommended.



F. Item 2(Picture) Loose Showerhead



F. Item 3(Picture) Weakened Drawer



F. Item 4(Picture) Improperly Configured and Leaking Sink Drain



F. Item 5(Picture) Missing Countertop Support



F. Item 6(Picture) Improperly Terminated Tile Edge



F. Item 7(Picture) Improperly Adjusted Toilet Tank Water Level

(3) A number of deficiencies were noted with regard to the master bathroom vanity and sink installation. The top drawer has been badly weakened by improper alteration and the sink drain piping is improperly configured/leaking. The overall quality of the master bathroom remodeling is poor and significant repairs are needed in order to reduce the risk for ongoing leaking, further damage, etc. A qualified remodeling contractor should provide a plan and budget for the badly needed repairs.



F. Item 8(Picture) Inadequate Water Flow And Loose Faucet



F. Item 9(Picture) Disconnected Drain Stopper

(4) The guest bathroom sink faucet is not properly secured to the sink-top, does not have a functioning drain stopper, and does not provide adequate water flow. It should be repaired so that it operates as intended.

(5) The water level in the toilet tanks is too high. Water is constantly running from the toilet tanks and into the toilet bowl. The toilet fill valves should be adjusted or repaired by a qualified plumber.



F. Item 10(Picture) Elevated Water Level

(6) The water heater is over 20 years old and show signs of unsafe venting and flame rollout. It is most strongly recommended that the water be replaced as soon as practical.



F. Item 11(Picture) Strong Evidence of Unsafe Operation

(7) The installation of a piped drain began underneath the water heater is recommended in order to reduce the risk for potentially catastrophic damage in the event of a water heater tank failure.



F. Item 12(Picture) Missing Drip Pan



F. Item 13(Picture) Moisture Staining at Base of Cast-Iron Drain Elbow



F. Item 14(Picture) Evidence of Dripping onto Area below Cast-Iron Drain Elbow

(8) Evidence was noted of a leak condition above the guest bathroom. The cast-iron drain elbow shown in the accompanying photo may be part of the flat roof drain system. The inspector was unable to determine if an active leak condition is present. A thorough evaluation of this condition will require access to common areas and the cooperation of the HOA. It is recommended that the buyer perform further due diligence regarding this condition prior to accepting responsibility for conditions within the subject condominium unit.

(9) The kitchen sink faucet is not properly secured to the countertop and should be repaired by a qualified plumbing contractor as soon as practical.



F. Item 15(Picture) L Stands for Loose

G. HEATING, AIR CONDITIONING, VENTILATION, AND GAS APPLIANCE SYSTEMS

Comments: Not Functioning or in need of repair

(1) The existing furnace-mounted humidifier relies on standing water for humidification of the conditioned air. This unit is difficult to clean and can allow molds, bacteria, and other biologicals to grow inside the conditioned air stream. It should be replaced with a more indoor air quality friendly unit by a licensed HVAC contractor.



G. Item 1(Picture) Problematic Humidifier

(2) Since the ambient temperature did not allow for the safe operation of the air-conditioning system and since the air-conditioning condensing unit was not accessible at the time of the inspection, it is recommended that an escrow holdback be provided at closing in order to protect the purchaser in the event that the air-conditioning system is defective or inoperative. Further evaluation of the air-conditioning system by a licensed and competent HVAC contractor is recommended when weather permits.

H. INSULATION, VENTILATION, ATTICS, ETC.

Comments: Not Functioning or in need of repair

The kitchen utilizes a recirculating vent hood. Cooking in the kitchen generates a great deal of heat, steam, grease, smoke, and odors that need to be ventilated in order to maintain indoor air quality and proper housekeeping. It is the inspector's opinion that the failure to install a ventilating kitchen exhaust hood will result in reduced indoor air quality, increased energy usage, and more difficulty in keeping the home clean. A qualified contractor should determine cost and feasibility for the installation of a vented kitchen exhaust system.



H. Item 1(Picture) Recirculating Range Hood

I. FIREPLACES, WOODSTOVES, ETC.

Comments: Inspected

The use of ventless fireplaces can negatively affect indoor air quality. Low levels of carbon monoxide can be emitted as can other contaminants such as sulfur dioxide and nitrous oxide. The ventless fireplace should be used sparingly and with one or more windows slightly open, if at all.

J. INTERIORS AND FINISHES

Comments: Not Functioning or in need of repair



J. Item 1(Picture) Substandard Workmanship



J. Item 2(Picture) Obvious Lack of Care or Concern



J. Item 3(Picture) Excess "Give" At Individual Pieces of MDF Flooring



J. Item 4(Picture) Extremely Moisture Sensitive Flooring



J. Item 5(Picture) Defective Tongue and Groove Installation



J. Item 6(Picture) Excessive Flooring Gaps and Improperly Installed Flooring Trim



J. Item 7(Picture) Inadequately Secured Flooring



J. Item 8(Picture) Excessive Flooring Gap

(1) The recently installed MDF finish flooring is of relatively low quality and was improperly installed. Widespread installation defects were noted and significant flooring damage is already present. The extent of the installation deficiencies and existing defects indicate that replacement is the only viable option. It is most strongly recommended that a qualified flooring specialty contractor provide a plan and budget for removal of the existing MDF finish flooring and its replacement with a high-quality alternative.



J. Item 9(Picture) Gypsum Wallboard Defects



J. Item 10(Picture) Inadequate Electrical Receptacle Spacing

(2) Multiple concerns were noted regarding the recently configured second bedroom within this condominium unit. The failure to provide adequate electrical receptacle spacing is indicative of work performed by unqualified and/or unlicensed individuals. The extremely sloppy gypsum wallboard finished surfaces are also indicative of substandard workmanship. It is recommended that a qualified electrical contractor install additional electrical receptacles and room lighting in order to comply with all applicable building codes. It is further recommended that a qualified drywall contractor/carpenter repair the interior finishes to comply with commonly accepted appearance standards.

(3) The glass shelf above the guest bathroom toilet is not properly secured to the wall and is at risk for failure. It should be repaired as soon as practical.



J. Item 11(Picture) Loose Glass Shelf



J. Item 12(Picture) Sloppy Tile Workmanship



J. Item 13(Picture) Sloppy Tile Cut

(4) The overall quality of the ceramic tile installation is below average. A significant number of appearance defects were noted in tiled areas of the bathrooms and the kitchen.

(5) This condominium unit appears to have been subjected to a purchase and "flip". The quality of the remodeling performed after the most recent purchase is significantly deficient and drastically substandard. Since widespread remodeling deficiencies were readily apparent at the time of the inspection the obvious question is "what is the extent of any remodeling defects which are concealed?"



J. Item 14(Picture) Poorly Fitted Trim Piece

K. WINDOWS, DOORS, SKYLIGHTS

Comments: Not Functioning or in need of repair

(1) All of the bi-fold closet doors should be adjusted for proper appearance and also should be adjusted to within 1/2" of the head track in order to prevent undue wear to the operating hardware.



K. Item 1(Picture) Excessive Gap

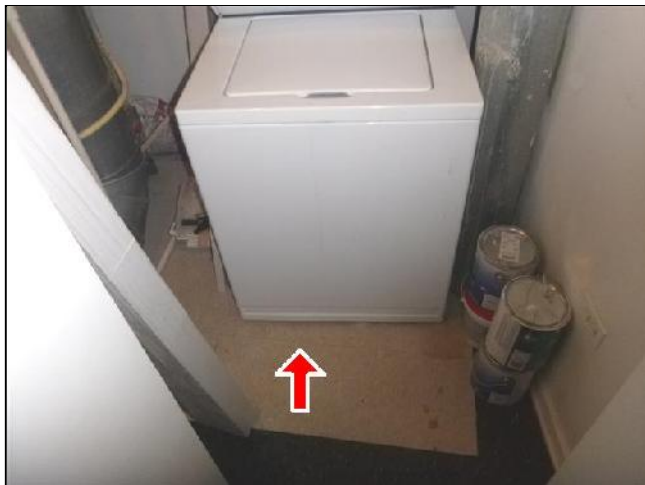
(2) The installation of new screening material is recommended at the balcony sliding door screen.



K. Item 2(Picture) Deteriorated Screening

L. INSTALLED APPLIANCES

Comments: Not Functioning or in need of repair



L. Item 1(Picture) Missing Drip Pan

(1) The installation of a preformed drip pan is recommended underneath the washing machine in order to reduce the risk for leaking and damage in the event of an appliance malfunction.



L. Item 2(Picture) Washing Machine Drip Pan



L. Item 3(Picture) Washing Machine Water Supply Hoses

(2) It is recommended that the existing rubber water supply hoses at the washing machine be replaced with braided stainless steel hoses for increased insurance against leaks and water damage. The 'Watts' corporation produces hoses with a 'Flood-Stop' feature that will further reduce the risk for the free flow of water from the laundry outlet.



L. Item 4(Picture) Braided Stainless Steel Water Supply Hoses



L. Item 5(Picture) No Visible Water Source for Icemaker



L. Item 6(Picture) Incompletely Installed Refrigerator

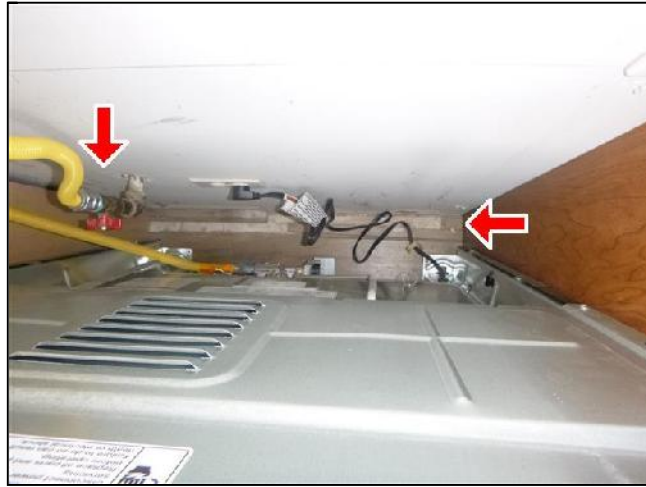
(3) The refrigerator icemaker was in the off position at the time of the inspection. The inspector was unable to locate any water supply components connected to the refrigerator icemaker. It is recommended that the proper operation of the refrigerator icemaker be demonstrated at the time of the final walk-through prior to closing.

(4) The built-in microwave oven is not properly secured to the adjacent wall. The microwave oven should be removed and reinstalled by a qualified contractor so that it conforms to the manufacturer's installation requirements.



L. Item 7(Picture) Loose Microwave Oven

(5) The kitchen range installation is incomplete. It is most strongly recommended that a qualified appliance technician install the missing safety bracket, turn on the gas supply, and certify the installation as complete and proper.



L. Item 8(Picture) Missing Safety Bracket and Gas Valve in the Off Position

M. OTHER

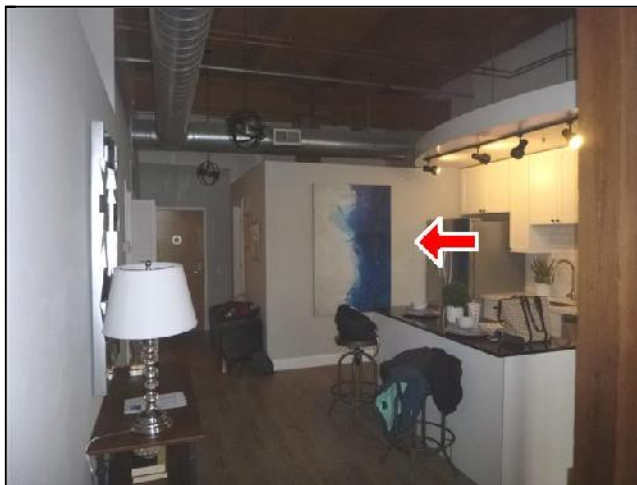
Comments: Not Functioning or in need of repair

(1) It is strongly recommended that the buyer request a copy of all pertinent documentation regarding the financial condition of the HOA. This documentation should include a copy of the declarations and bylaws, a copy of the meeting minutes going back at least one year, and a copy of the latest reserve study if one exists. Failure to maintain a current (updated within the last five years) reserve study could indicate a lack of diligence on the part of the condominium board.



M. Item 1(Picture) Further Due Diligence Recommended

(2) The inspector makes no judgment or opinion regarding the legality of the recently configured second bedroom in this condominium unit. It is recommended that the seller provide all documentation regarding suitability of the unit for the installation of a second bedroom, the building permit necessary to make this alteration, architectural drawings, etc.



M. Item 2(Picture) Second Bedroom

(3) Smoke and carbon monoxide detectors are relatively inexpensive considering the importance of their function. It is recommended that the smoke and carbon monoxide detectors be replaced with new units upon moving into the home.



M. Item 3(Picture) Missing Detector

All of the recommendations for repairs or alterations that are contained in this report should be performed by licensed and competent contractors with expertise in the appropriate trade or specialty. It is recommended that the repairs/alterations be completed prior to closing. The contractor/s who perform the recommended repairs at the seller's direction should provide the buyer/client with all appropriate documentation regarding the materials and methods used in the work. A list of contractors who have been rated and recommended by consumers can be found at www.angieslist.com

INVOICE

Domicile Consulting
2545 W Diversey Ave Suite 206
Chicago IL 60647
312-488-1461
Inspected By: Dan Cullen

Inspection Date: 1/13/2017
Report ID:

Customer Info:	Inspection Property:
Sam Stone	1632 S Poinciana #603 Chicago IL
Customer's Real Estate Professional:	

Inspection Fee:

Service	Price	Amount	Sub-Total
1 Bedroom/Studio Condo	350.00	1	350.00
			Tax \$0.00
			Total Price \$350.00

Payment Method: Check
Payment Status: Paid At Time Of Inspection
Note:

**Domicile Consulting**

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Report Attachments

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